

OFFICE/RESIDENTIAL ZONE

This area should be redeveloped from industrial use to an area of mixed office and residential activities together with other uses which serve the immediate needs of the work force and residents. Residential and office uses may be developed independently.

The office component of a mixed use development will be compatible with all residential uses and will provide for a wide range of business activities. Mixed use developments proposing the integration of, or close relationship between work place and residence are strongly encouraged where acceptable levels of residential amenity can be maintained. Building design should be innovative and strive to reflect and accommodate modern business premises and offer a wide range of housing.

The construction or placement of signs should not detract from the amenity of the Precinct. Signs should be in keeping with the design and character of host buildings and their placement should permit safe and convenient pedestrian and vehicle movement. Requirements for signs should be given careful consideration in the design of new buildings. The illumination of building facades is considered appropriate.

Landscaping between buildings and in front setbacks will be provided throughout the area. It should incorporate features that provide pedestrians and cyclists with safe, comfortable and convenient facilities and access through the area and to adjoining recreation areas. Car parks will be well integrated with the landscaped area required on redevelopment and be unobtrusive. Similarly, kerbside parking should be well integrated with footpaths and street trees and should not dominate the streetscape.

Use of Land

As indicated in the Zoning Table in the Scheme Text and outlined below for an Office/Residential Zone.

| Use Class | Zone |
|--------------------------------------------------------------------------------------|------|
| Consulting Rooms, Day Care Centre | P |
| Convenience Store, Service Station | X |
| Educational Establishment, Place of Worship | AA |
| Fast Food Outlet, Restaurant | P |
| General Industry, Transport Depot | X |
| Hazardous Industry, Noxious Industry | X |
| Home Occupation | P |
| Hospital, Nursing Home, Residential Building | AA |
| Hotel, Motel, Tavern | X |
| Light Industry | X |
| Liquor Store - Small | AA |
| Liquor Store - Large | X |
| Lodging House, Serviced Apartment | P |
| Massage Rooms | X |
| Motor vehicles and Marine Sales Premises | X |
| Open Air Sales and Display | X |
| Nightclub | X |
| Office | P |
| Restricted Premises | X |
| Service Industry | AA |
| Shop | AA |
| Showroom | P |
| Single House, Group Dwelling, Aged or Dependent Persons' Dwelling, Multiple Dwelling | P |
| Warehouse | X |

The symbols used in the cross reference in the Scheme Zoning Table have the following meanings:

"P" (Permitted Use): means that the use is permitted by the Scheme.

"AA" (Discretionary Use): means that the use is not permitted unless the Council has granted planning approval.

"X" (Prohibited Use): means a use that is not permitted by the Scheme.

Note: If the use of the land for a particular purpose is not specifically mentioned in the Scheme Zoning Table and cannot be determined as falling within the interpretation of one of the Use Class categories Council may consider it an unlisted (ie discretionary) use requiring that the advertising procedures referred to in clause 28 of the Scheme Text be followed.

RESERVES

Land in this Precinct, reserved under the Metropolitan Region Scheme for railway purposes, controlled access highway, other major highway and parks and recreation, falls within the planning authority of the Ministry for Planning.

The Council nevertheless has management responsibilities for these areas, as well as having the opportunity to comment on all development and in this regard the following matters will be taken into account:

- Any additional or related uses in the railway reserve should not be in conflict with the provision of public transport and nearby (potential) residential development.
- Development adjoining the railway reserve should keep in mind the need to provide safe and direct pedestrian access to the Burswood Station for residents and visitors to the Burswood Resort Complex.
- Adequate signposting indicating pedestrian access across the railway reserve area should be provided.
- The provision of cyclist paths and landscaping within the railway reserve will be strongly supported. Improvement to pedestrian access from the Burswood Station to the Superdome is also supported.

ENVIRONMENTAL NOTE

Any redevelopment proposal should give careful consideration to the implications of the various industrial and waste disposal purposes that land in the precinct has been used for in the past. It is considered appropriate that if redevelopment of a site is contemplated, then advice on environmental and pollution constraints should be sought from the Department of Environmental Protection and the Council.

Where it is considered that a particular use could have a detrimental impact on the amenity of the surrounding area (mainly adjacent residential uses) it will be subject to assessment and advertising under any relevant planning policy.

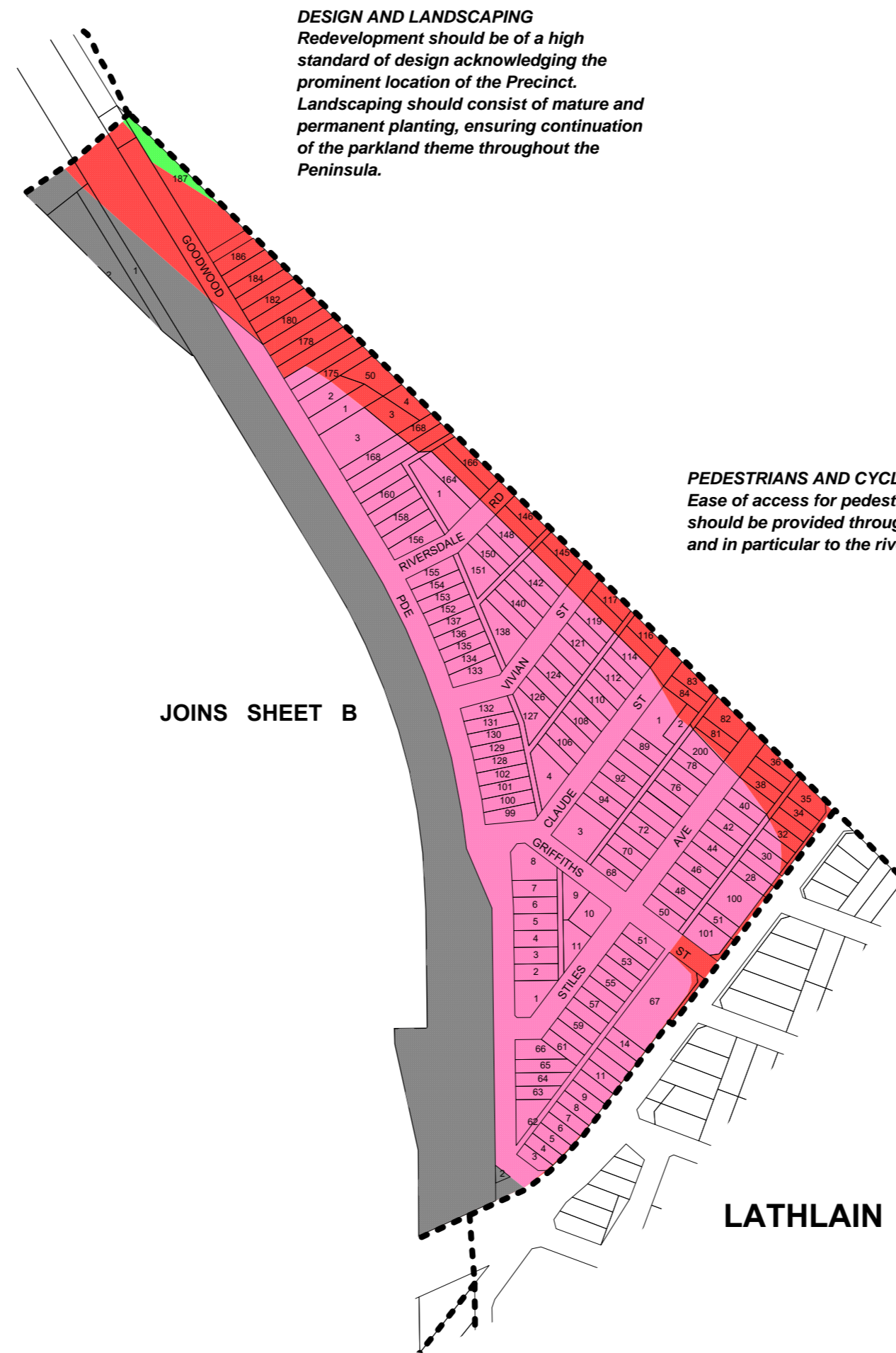
DEVELOPMENT STANDARDS

Development shall generally be in accordance with the R-Codes (where applicable) and any relevant planning policy. In addition the following standards apply:

- Plot Ratio:
 - The plot ratio of any building shall not exceed 2.0. Where a building is used for both residential and office purposes the plot ratio of the commercial component of a building shall not exceed 1.33. Where a building is used solely for office/commercial purposes it shall not have a plot ratio exceeding 1.33, and
 - Where a building is used solely for residential purposes the plot ratio should not exceed that prescribed in the R-Codes for a density of R80. However, plot ratio for a residential building, or the residential component of a building, may be varied depending on the R-Codes density approved for the site (refer to point 3 (Residential Density) below).
- Building Height
In the Office/Residential Zone the height of a building shall not exceed 15 metres.

- Residential Density: Residential development in this area shall have a maximum density of R80, and generally be in accordance with the R-Codes. Variations to the Codes, including dwelling density, will be considered where a high standard of development and acceptable levels of residential amenity can be obtained.
- Setback: The setback distance shall have regard to scale and intensity of adjoining development and street layout and width. Parking and access requirements will also be taken into consideration. Where a setback is provided it will be largely landscaped.
- Landscaping:
 - Office/Residential Development. Twenty five percent of a site developed for office/commercial uses, mixed office and residential use, must be developed as landscaped area. The proportion of the site to be landscaped should predominantly include areas between the building and any street or public open space to which the building has an entry or frontage. Landscaping must consist of mature permanent (in ground) vegetation. Any existing substantial vegetation should be retained, or relocated on-site if redevelopment necessitates its removal. If relocation on-site is not possible replacement of trees with mature varieties is required.
 - Residential Development. Open space and landscaping for a residential development should be in accordance with the requirements for the R-Codes R80 standards and the Council's landscaping policy.
- Signs: Structural supports for signs should be concealed or the visual impact of the supports minimised. Any sign which is visible from the Graham Farmer Freeway or other major roads should be of a high standard of materials, construction and graphics.
- Car parking: The provision of car parking should be approached in a manner that will avoid reduction in the amenity of the public and private environment. Car parking should preferably be located at the rear of buildings or beneath developments. All car parking areas are to be screened from the street and adjoining residential.

NORTH
SCALE 1 : 5,000



DESIGN AND LANDSCAPING
Redevelopment should be of a high standard of design acknowledging the prominent location of the Precinct. Landscaping should consist of mature and permanent planting, ensuring continuation of the parkland theme throughout the Peninsula.

PEDESTRIANS AND CYCLISTS
Ease of access for pedestrians and cyclists should be provided throughout the precinct and in particular to the river.

OFFICE/RESIDENTIAL ZONE
This area should contain a mix of compatible office and residential activities. A wide range of uses which can be accommodated in office buildings will be considered, as will ancillary uses that serve the residents and the work force. It is envisaged that this area will develop a substantial residential component.

LEGEND

Precinct Boundary

METROPOLITAN REGION SCHEME RESERVES

NOTE: The Western Australian Planning Commission care of the Ministry for Planning should be consulted for full information on the precise land requirements for all Metropolitan Region Scheme Reserves.

Parks and Recreation

Primary Regional Roads

Railways

TOWN OF VICTORIA PARK SCHEME ZONES

Office/Residential

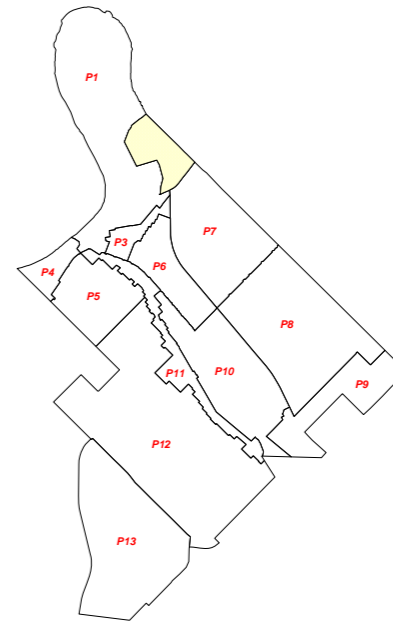
TOWN OF VICTORIA PARK TOWN PLANNING SCHEME No.1 BURSWOOD PRECINCT

P2
SHEET A

PRECINCT PLAN P2 SHEET A

Updated on 14 April 2019

| AMENDMENT N° | GAZETAL DATE | AMENDMENT N° | GAZETAL DATE |
|--------------|------------------|--------------|------------------|
| 3. | 2 February 2001 | 46. | 3 September 2010 |
| 6. | 8 October 2002 | 61. | 14 November 2014 |
| 8. | 4 February 2003 | 75. | 23 June 2017 |
| 28. | 22 May 2003 | 77. | 19 June 2018 |
| 29. | 23 May 2003 | 80. | 14 April 2019 |
| 37. | 11 November 2005 | | |



STATEMENT OF INTENT

The Burswood Precinct should be redeveloped primarily as an area of mixed office and residential uses east of the railway and for residential uses with integrated mixed use development west of the railway.

Redevelopment in the Precinct should acknowledge the prominence of Burswood Peninsula. In keeping with the location of the Precinct, buildings and surrounding landscaping should be of a high visual standard to complement a key entry route to the city, and contribute to reducing the visual impact of the Graham Farmer Freeway.

Development adjacent to the Burswood Resort Complex should have regard for the proximity of this area to the Complex, and acknowledge the importance of the Precinct as a backdrop to the river setting and views of the Peninsula from various vantage points. New development will contribute to the development of a well integrated pedestrian network, through site layout and building design, which would encompass links to the adjoining Burswood Peninsula Precinct. Public places such as parks, reserves and streets will be used, maintained and enhanced so that they contribute to a pleasant environment in the Precinct.

HOW IT WORKS

This Precinct Plan describes the Council's town planning intentions for this precinct. It contains a Statement of Intent which applies to the whole Precinct and several other statements which apply to specific areas within the Precinct. These statements summarise the kind of future that is seen to be appropriate for the precinct.

In this Precinct Plan you will also find information about the purposes for which land may be used and guidelines for the development of land and buildings.

This Precinct Plan should be read together with: -

- Planning policies which contain guidelines for the development and use of land which apply to more than one precinct. References are given in this Precinct Plan to those policies.
- The Scheme Text which contains legal and administrative provisions regarding the use and development of land.

In order to determine how a particular lot is affected by the above, you will need to refer to that lot on the map and the related text in this Precinct Plan. Where a property is located on or near the Precinct boundary it may also be necessary to consult the neighbouring Precinct's. It should also be noted that from time to time, the Town Planning Scheme may be subject to amendments.

You are reminded that before land and buildings can be developed or used for another purpose it will probably be necessary to make a planning application and receive approval from the Council.

Enquiries concerning this Precinct Plan or general planning matters should be directed to the Council's Planning Department.

ADOPTION

Adopted by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 9th day of August 1994.

J A E LEE
MAYOR

J M BONKER
CHIEF EXECUTIVE OFFICER

FINAL ADOPTION

Adopted for final approval by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 11th day of August 1998 and the seal of the Municipality was pursuant to that resolution, hereunto affixed in the presence of:

J A E LEE
MAYOR

J M BONKER
CHIEF EXECUTIVE OFFICER

RECOMMENDED FOR FINAL APPROVAL

CHAIRMAN OF THE WESTERN AUSTRALIAN PLANNING COMMISSION

Date _____

FINAL APPROVAL GRANTED

MINISTER FOR PLANNING

Date _____

SPECIAL USE AREA

LOCAL PLANNING POLICY
This Precinct Plan, for the purposes of the variation of the Residential Design Codes, shall be read as if it was a Local Planning Policy.

SPECIAL CONTROL AREA

(1) The following special control area is shown on the Precinct Plan Map.

ENV1 BURSWOOD LAKES ENVIRONMENTAL AND GEOTECHNICAL SPECIAL CONTROL AREA

(2) In respect of the Special Control Area, the provision applying to the Special Control Area apply in addition to the provisions applying to the underlying zone and any general provisions of the Scheme.

(3) The following schedule sets out the purpose and particular requirements that apply to ENV1 Burswood Lakes Environmental and Geotechnical Special Control Area:

| | |
|------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ENV1 Burswood Lakes Environmental and Geotechnical Special Area | The Burswood Lakes Environmental and Geotechnical Special Control Area is shown on the Precinct Plan as: ENV1: Burswood Environmental and Geotechnical Control Area |
| Purpose | <ol style="list-style-type: none"> To identify areas that have had environmental hazards and have now been remediated; To ensure that development that involves excavation in these areas takes into account the state of remediation. Highlight the need for development applications to include a geotechnical assessment appropriate for the proposed development. |
| Application Requirements | <p>Planning approval is required for any excavation of land in the Special Control Area.</p> <p>The following requirements apply for all applications for planning approval that involve excavation under these provisions:</p> <ol style="list-style-type: none"> The application shall be accompanied by: <ol style="list-style-type: none"> A plan showing depths of excavation with reference to Australian Height Datum. Where the proposed development would cause any excavation below the warning barrier where cement kiln dust has been recorded, a Cement Kiln Dust Environmental Management Plan as required in the Statement to Implement the Proposal. A geotechnical assessment report, appropriate for the proposed development, prepared by a qualified geotechnical engineering consultant. With the exception of piles that do not bring contaminated material to the surface or the excavation for lift shafts in accordance with an asbestos management plan, all applications that would cause any excavation within 500 millimetres of the warning barrier or cause any disturbance of asbestos on a lot where greater than one per cent by volume of asbestos has been recorded, shall be referred to the Environmental Protection Authority for advice prior to granting approval. |
| Relevant Considerations | <p>In considering any application for planning approval for excavation under these provisions, the Council have regard to:</p> <ol style="list-style-type: none"> The Asbestos Environment Management Plan and the Cement Kiln Dust Environmental Management Plan prepared pursuant to the statement that a proposal be implemented under the Environmental Protection Act 1986; The need for all buildings and hardstand areas to be connected to a positive drainage system for the collection of stormwater; That no soakwells are proposed. |
| Referral of Applications | <ol style="list-style-type: none"> Any development application under these provisions will be referred to the Environmental Protection Authority for advice where the Council is not satisfied that the proposal meets the performance standards set out in the Environmental Management Plans. Any development application under these provisions may be referred for adjudication to the WA President of the Institute of Engineers Australia, in the event that the Town of Victoria Park considers the geotechnical assessment and associated recommendations are not appropriate for the proposed development. |

STRUCTURE PLAN

Development within the Special Use zone is to be generally consistent with the approved Burswood Lakes Structure Plan. In relation to applications for development or subdivision approval within the Special Use Zone, the decision-maker is to have due regard to the approved structure plan when determining the application.

The approved structure plan may be amended in accordance with deemed clause 29, and inclusive of public consultation.

USE OF LAND

As indicated in the "Use Area" table outlined below for the Special Use Zone.

| Use Class | Use Area Residential R-IC |
|---------------------------------------------------------------------------------------------------------------|---------------------------|
| Consulting Rooms, Day Care Centre | AA |
| Convenience Store, Service Station | X |
| Educational Establishment, Place of Worship | AA |
| Fast Food Outlet, Restaurant | AA |
| General Industry, Transport Depot | X |
| Hazardous Industry, Noxious Industry | X |
| Home Occupation | AA |
| Home Office | P |
| Hospital, Nursing Home, Residential Building | AA |
| Hotel, Motel, Tavern | AA ¹ /X |
| Light Industry | X |
| Liquor Store - Small | X |
| Liquor Store - Large | X |
| Lodging House, Serviced Apartment | X/AA ² |
| Massage Rooms | X |
| Motor Vehicles and Marine Sales Premises | X |
| Open Air Sales and Display | X |
| Nightclub | X |
| Office | AA |
| Restricted Premises | X |
| Shop | AA ^{3,4} |
| Showroom | X |
| Single House, Single Bedroom Dwelling, Group Dwelling, Aged or Dependent Persons' Dwelling, Multiple Dwelling | P |
| Warehouse | X |

Footnotes:

- The 'Discretionary Use' notation applies only to the use of 'Hotel' on Lot 25 (also known as Lot 9525) Victoria Park Drive, Burswood within the Special Use Zone.
- The 'Discretionary Use' notation applies only to the use of 'Serviced Apartment' on Lot 25 (also known as Lot 9525) Victoria Park Drive, Burswood within the Special Use Zone.
- The maximum net leasable area of retail floor space for 'Shop' within the Special Use Zone, excluding Lots 9 and 25, shall not exceed 2,000m².
- The maximum net leasable area of retail floor space for 'Shop' on Lots 9 and 25 within the Special Use Zone shall not exceed a combined area of 2,400m², with a maximum single tenancy size of 400m² retail net leasable area.

Development of "AA" Uses should generally be in those areas, depicted for that purpose, on the Structure Plan.

The symbols used in the cross reference in the Scheme Use Area Table have the following meanings:

"P" (Permitted Use): means that the use is permitted by the Scheme.

"AA" (Discretionary Use): means that the use is not permitted unless the Council has granted planning approval.

"X" (Prohibited Use): means a use that is not permitted by the Scheme.

Note: If the use of the land for a particular purpose is not specifically mentioned in the "Use Area" Table and cannot be determined as falling within the interpretation of one of the Use Area categories Council may consider it an unlisted (ie discretionary) use requiring that the advertising procedures referred to in clause 28 of the Scheme Text be followed.

Where it is considered that a particular use could have a detrimental impact on the amenity of the surrounding area (mainly adjacent residential uses) it will be subject to assessment and advertising under any relevant planning policy.

DEVELOPMENT STANDARDS

Land included within the approved Structure Plan shall be subject to the following development standards. Lots referred to in these provisions are prescribed in the Structure Plan.

(1) Residential Design Codes except for the following variations land within the 'Special Use Zone' shall be developed in accordance with the "R-IC" coding of the Western Australian Planning Commission Residential Design Codes (R Codes).

(a) Variation to Table 1 of the Residential Design Codes

| Dwelling Type | Open Space | | | Dwelling Type | Open Space | | |
|-------------------|------------|---------------------------------|---------------------------------|-------------------|------------|---------------------------------|---------------------------------|
| | Lot Number | Min. Communal (m ²) | Min. Communal (m ²) | | Lot Number | Min. Communal (m ²) | Min. Communal (m ²) |
| Multiple Dwelling | 1 | 6 m ² | 6 m ² | Multiple Dwelling | 16 | Nil | Nil |
| | 2 | Nil | Nil | | 17 | Nil | Nil |
| | 3 | Nil | Nil | | 18 | Nil | Nil |
| | 9 | Nil | 8 m ² | | 19 | 8 m ² | 8 m ² |
| | 10 | Nil | Nil | | 20 | Nil | Nil |
| | 11 | 6 m ² | 6 m ² | | 21 | Nil | Nil |
| | 12 | 16 m ² | 16 m ² | | 22 | Nil | Nil |
| | 13 | 16 m ² | 16 m ² | | 23 | Nil | Nil |
| | 14 | Nil | Nil | | 24 | Nil | Nil |
| | 15 | 8 m ² | 8 m ² | | 25 | Nil | Nil |

- (b) Setbacks
- Primary Street setbacks shall be as per Residential Design Codes.
 - Side and rear setbacks shall be based on performance criteria set out in the "Design Guidelines for Burswood Lakes" planning policy.
 - Building setbacks for multiple storey buildings shall be determined by the distance between buildings and the building control envelopes as prescribed in the Structure Plan.

| Lots | Open Space | |
|---------|--------------|---------------|
| | Level 1-4(m) | Level 5-22(m) |
| 1 & 10 | 20 | 30 |
| 10 & 11 | 10 | 20 |
| 11 & 12 | 15 | 30 |
| 12 & 13 | 30 | 40 |
| 13 & 19 | 25 | 30 |
| 19 & 20 | 20 | 30 |

At the discretion of Council, the setbacks between buildings at levels above 8 storeys may be varied as shown on 'Indicative Development Plan' of the Structure Plan.

Plot Ratio: The ratio of the gross total of the areas of all floors of buildings on a site to the area of land within the site boundaries. For this purpose, such areas shall include the area of any walls but not include the areas of lift shafts, stairs or stair landings common to two or more dwellings, machinery, air conditioning and equipment rooms, non-habitable space that is wholly below natural ground level, areas used exclusively for the parking of wheeled vehicles at or below natural ground level, lobbies or amenities areas common to more than one dwelling or private open balconies.

Table 1 of the Residential Design Codes shall be varied as follows:

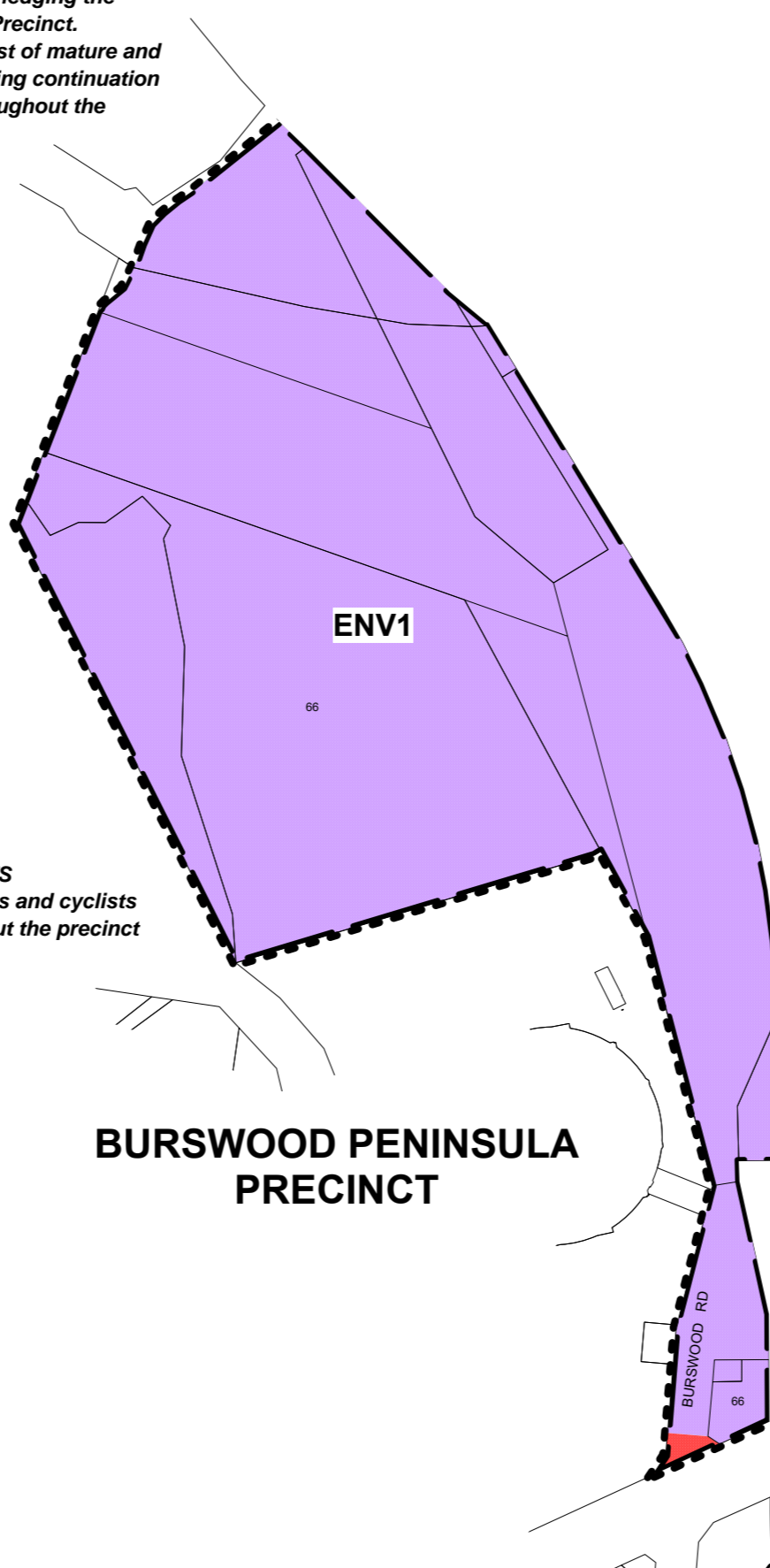
TABLE 1 - General Site Requirements

| R Code | Dwelling Type | Minimum Site Area per dwelling (m ²) | Minimum Lot Area/ Rear Battleaxe (m ²) | Plot Ratio | Minimum Frontage (m) | Open Space | | | Minimum Setbacks (m) | | |
|--------|----------------------------------|--------------------------------------------------|----------------------------------------------------|------------|----------------------|------------------------|------------------------------------------|---------------------------------------|----------------------|------------------|-------------|
| | | | | | | Min. Total (% of Site) | Min. Communal (m ²) | Min. Outdoor Living (m ²) | Primary Street | Secondary Street | Other/ rear |
| R-IC | Single House or Grouped Dwelling | ** | — | ** | — | ** | — | 16 | 1.5 | ** | ** |
| | Multiple Dwelling | ** | — | ** | — | 35 | Refer to communal open space table below | — | 1.5 | ** | ** |

** Indicates that this requirement has been modified in the Burswood Lakes Structure Plan and this Precinct Plan.

DESIGN AND LANDSCAPING
Redevelopment should be of a high standard of design acknowledging the prominent location of the Precinct. Landscaping should consist of mature and permanent planting, ensuring continuation of the parkland theme throughout the Peninsula.

PEDESTRIANS AND CYCLISTS
Ease of access for pedestrians and cyclists should be provided throughout the precinct and in particular to the river.



LEGEND

- Precinct Boundary
- ENV1 Burswood Lakes Environmental and Geotechnical Special Control Area

METROPOLITAN REGION SCHEME RESERVES

NOTE: The Western Australian Planning Commission care of the Ministry for Planning should be consulted for full information on the precise land requirements for all Metropolitan Region Scheme Reserves.

Primary Regional Roads

TOWN OF VICTORIA PARK SCHEME ZONES

Special Use

JOINS SHEET A

NORTH

SCALE 1 : 5,000

- Dwelling Density**
 - Residential development shall have a maximum density for each lot as depicted on the approved Structure Plan.
 - The total maximum dwelling numbers permitted in the Special Use Zone, including any bonus under the Residential Design Codes, shall not exceed 1,250.
- For those lots not effected by (iv) any additional height allowance for grouped and multiple dwellings shall be accompanied by a shadow analysis diagram indicating where shadows will be cast from the development and their impact on adjoining properties, for the following dates and times:
 - 9.00am, midday and 4.00pm on the summer solstice (21 December);
 - 9.00am, midday and 4.00pm on the winter solstice (21 June); and
 - other dates and times as may be required.
- Overshadowing and Wind:**
 - All applications for planning approval for grouped and multiple dwellings shall be accompanied by a shadow analysis diagram indicating where shadows will be cast from the development and their impact on adjoining properties, for the following dates and times:
 - 9.00am, midday and 4.00pm on the summer solstice (21 December);
 - 9.00am, midday and 4.00pm on the winter solstice (21 June); and
 - other dates and times as may be required.
 - Applications for planning approval for all dwellings shall be accompanied by a progressive wind impact statement for the proposed development.
- Open Space and Landscaping**
 - Open space requirements for all of the Residential development shall be in accordance with the requirements of the Residential Design Codes except for the following specified variations:
 - The 'Minimum Outdoor Living' requirement for Single House and Grouped Dwellings shall be 16m².
 - All applications for planning approval for grouped or multiple dwellings shall be accompanied by a landscape concept plan that details plant types, landscape treatments, and an on-going maintenance programme for these areas including automatic reticulation.
- Parking**

Acceptable Development standard A1 of clause 3.5.1 'On-Site Provision' of the Residential Design Codes shall be varied as follows:

 - Courtyard homes, detached single family homes, zero-lot-lined homes and townhouses - minimum of 2 bays per dwelling.
 - 1 bedroom apartment - minimum of 1 bay per dwelling.
 - 2 bedroom apartment - minimum of 1.5 bays per dwelling.
 - 3 bedroom apartment - minimum of 2 bays per dwelling.
 - Visitor parking : 10% of required bays that may include, where appropriate, on street parking.

| Lot Number | Max Storeys | Max Metres |
|------------|-------------|------------|
| 1 | 12 | 42 |
| 2 | 7 | 24.5 |
| 3 | 6 | 21 |
| 4 | 3 | 10.5 |
| 5 | 3 | 10.5 |
| 6 | 3 | 10.5 |
| 7 | 3 | 10.5 |
| 8 | 3 | 10.5 |
| 9 | 18 | 60 |
| 10 | 25 | 82.5 |
| 11 | 40 | 136 |
| 12 | 55 | 198 |
| 13 | 55 | 198 |
| 14 | 50 | 180 |
| 15 | 100 | 360 |
| 16 | 65 | 227.5 |
| 17 | 55 | 198 |
| 18 | 45 | 157.5 |
| 19 | 45 | 157.5 |
| 20 | 60 | 216 |
| 21 | 55 | 198 |
| 22 | 80 | 288 |
| 23 | 70 | 252 |
| 24 | 2.44 | 81.3 |
| 25 | 2.30 | 77.1 |
| 26 | 0.69 | 23.7 |

GENERAL DESIGN GUIDELINES

All forms of development, including residential and mixed use, shall be in accordance with the 'Design Guidelines for Burswood Lakes' planning policy.

CEDING OF LAND FOR STATE INFRASTRUCTURE CONTRIBUTION

Land required for the future redevelopment of Burswood Station, as identified in the Burswood Lakes Structure Plan, is to be ceded as a State Infrastructure Contribution free of cost to the State of Western Australia prior to development of Lot 25.

- Any additional or related uses in the railway reserve should not be in conflict with the provision of public transport and nearby (potential) residential development.
- Development adjoining the railway reserve should keep in mind the need to provide safe and direct pedestrian access to the Burswood Station for residents and visitors to the Burswood Resort Complex.
- Adequate signposting indicating pedestrian access across the railway reserve area should be provided.
- The provision of cyclist paths and landscaping within the railway reserve will be strongly supported. Improvement to pedestrian access from the Burswood Station to the Superdome is also supported.

RESERVES

Land in this Precinct, reserved under the Metropolitan Region Scheme for railway purposes, controlled access highway, other major highway and parks and recreation, falls within the planning authority of the Ministry for Planning.

The Council nevertheless has management responsibilities for these areas, as well as having the opportunity to comment on all development and in this regard the following matters will be taken into account:

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ENVIRONMENTAL NOTE

Any redevelopment proposal should give careful consideration to the implications of the various industrial and waste disposal purposes that land in the precinct has been used for in the past. It is considered appropriate that if redevelopment of a site is contemplated, then advice on environmental and pollution constraints should be sought from the Department of Environmental Protection and the Council.

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You are reminded that before land and buildings can be developed or used for another purpose it will probably be necessary to make a planning application and receive approval from the Council.

Enquiries concerning this Precinct Plan or general planning matters should be directed to the Council's Planning Department.

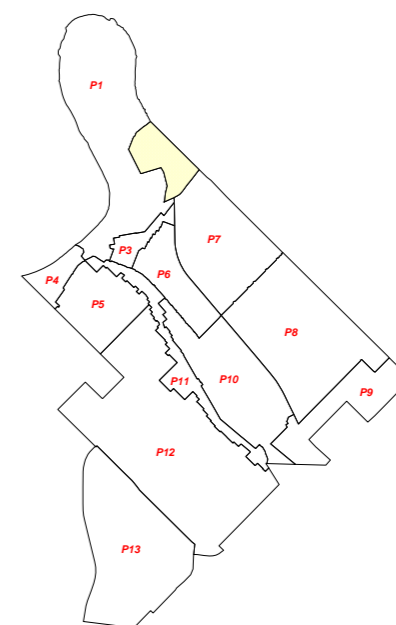
TOWN OF VICTORIA PARK TOWN PLANNING SCHEME No.1 BURSWOOD PRECINCT

P2 SHEET B

PRECINCT PLAN P2 SHEET B

Updated on 6 February 2019

| AMENDMENT | GAZETAL DATE | AMENDMENT | GAZETAL DATE |
|-----------|-----------------|-----------|------------------|
| 3 | 2 February 2001 | 37 | 11 November 2005 |
| 6 | 8 October 2002 | 46 | 3 September 2010 |
| 8 | 4 February 2003 | 61 | 14 November 2014 |
| 28 | 23 May 2003 | 76 | 23 June 2017 |
| 29 | 23 May 2003 | 79 | 25 January 2019 |



ADOPTION

Adopted by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 9th day of August 1994.

J A E LEE
MAYOR

J M BONKER
CHIEF EXECUTIVE OFFICER

FINAL ADOPTION

Adopted for final approval by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 11th day of August 1998 and the seal of the Municipality was pursuant to that resolution, hereunto affixed in the presence of:

J A E LEE
MAYOR

J M BONKER
CHIEF EXECUTIVE OFFICER

RECOMMENDED FOR FINAL APPROVAL

CHAIRMAN OF THE WESTERN AUSTRALIAN PLANNING COMMISSION

Date _____

FINAL APPROVAL GRANTED

MINISTER FOR PLANNING

Date _____