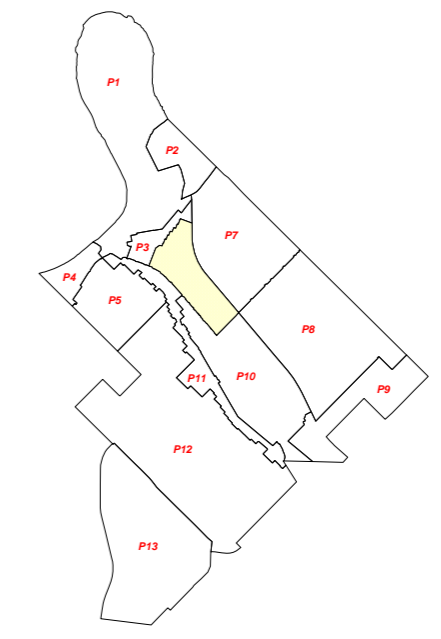


**PRECINCT PLAN P6**

Updated on 14 April 2019

AMENDMENT #1	GAZETAL DATE	AMENDMENT #1	GAZETAL DATE
3.	2 February 2001	61.	14 November 2014
6.	8 October 2002	75.	23 June 2017
8.	4 February 2003	77.	19 June 2018
50.	13 July 2012	80.	14 April 2019
54.	6 September 2013		



**LEGEND**

Precinct Boundary

**METROPOLITAN REGION SCHEME RESERVES**

*NOTE: The Western Australian Planning Commission care of the Ministry for Planning should be consulted for full information on the precise land requirements for all Metropolitan Region Scheme Reserves.*

- Primary Regional Roads
- Other Regional Roads
- Railways

**TOWN OF VICTORIA PARK SCHEME RESERVES**

- Parks and Recreation

**TOWN OF VICTORIA PARK SCHEME ZONES**

- Residential

*NOTE:*  
 R-Code

**STATEMENT OF INTENT**

The Victoria Park Precinct will remain as attractive and essentially low to medium scale residential area set on some of the highest land within the locality.

The retention and rejuvenation of existing housing, particularly dwellings indicative of the era in which the locality was developed, and selective sensitively designed 'infill' housing is the most favoured form of development and will be encouraged.

Medium density residential development will be consolidated in the area on the ridge in Clydesdale Street, but will be expected to respect the amenity of adjacent lower density dwellings.

Development or expansion of existing non-residential uses in the precinct will be limited, to safeguard residential amenity. The existing industrial use should desirably move to a more suitable location.

The precinct should remain a visually attractive area and the preservation of trees and the generous landscape planting of properties upon redevelopment will be required. Public places within the precinct, such as parks, reserves and streets will be enhanced and maintained so that they contribute to its pleasant environment. Safe, accessible movement for pedestrians, cyclists, public transport and vehicles will be an important aim for the precinct.

**HOW IT WORKS**

This Precinct Plan describes the Council's town planning intentions for this precinct. It contains a Statement of Intent which applies to the whole Precinct and several other statements which apply to specific areas within the Precinct. These statements summarise the kind of future that is seen to be appropriate for the precinct.

In this Precinct Plan you will also find information about the purposes for which land may be used and guidelines for the development of land and buildings.

This Precinct Plan should be read together with: -

1. Planning policies which contain guidelines for the development and use of land which apply to more than one precinct. References are given in this Precinct Plan to those policies.
2. The Scheme Text which contains legal and administrative provisions regarding the use and development of land.

In order to determine how a particular lot is affected by the above, you will need to refer to that lot on the map and the related text in this Precinct Plan. Where a property is located on or near the Precinct boundary it may also be necessary to consult the neighbouring Precincts. It should also be noted that from time to time, the Town Planning Scheme may be subject to amendments.

You are reminded that before land and buildings can be developed or used for another purpose it will probably be necessary to make a planning application and receive approval from the Council.

Enquiries concerning this Precinct Plan or general planning matters should be directed to the Council's Planning Department.

**ADOPTION**

Adopted by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 9th day of August 1994.

J A E LEE  
 MAYOR

J M BONKER  
 CHIEF EXECUTIVE OFFICER

**FINAL ADOPTION**

Adopted for final approval by resolution of the Council of the Town of Victoria Park at the Ordinary Meeting of the Council held on the 11th day of August 1998 and the seal of the Municipality was pursuant to that resolution, hereunto affixed in the presence of:

J A E LEE  
 MAYOR

J M BONKER  
 CHIEF EXECUTIVE OFFICER

**RECOMMENDED FOR FINAL APPROVAL**

CHAIRMAN OF THE WESTERN  
 AUSTRALIAN PLANNING COMMISSION

Date \_\_\_\_\_

**FINAL APPROVAL GRANTED**

MINISTER FOR PLANNING

Date \_\_\_\_\_

**RESIDENTIAL ZONE**

Single houses and group housing will occupy a large portion of the precinct, in line with the R-Codes R40 standards. No multiple dwellings will be permitted in these locations.

The area around Clydesdale Street, between Shepperton Road and the railway line will be permitted to redevelop in accordance with the Residential R60 standards; permitting single houses as well as groups and multiple dwellings at medium density. Development should be generally limited in height to 3 storeys, except where otherwise specified.

Child care facilities, schools and recreational areas serving the day-to-day needs of residents may be appropriate additional uses for this residential area. All such uses shall be unobtrusive in scale and not adversely affect the amenity of adjacent residential uses.

The existing schools and the Association for the Blind are acceptable uses within the precinct. Any further expansion or intensification of the uses, however, will not be permitted where it involves significant loss of existing housing or will impinge on the amenity of surrounding residents. Generally, development should be in accordance with planning policy relating to non-residential development in or adjacent to residential areas. Height and scale of any development is to be compatible with existing buildings. New buildings are to be set back from all boundaries and these areas landscaped. Adequate parking and set down areas are to be provided on-site.

With regard to residential development, the retention of existing housing and the promotion of selective and sensitive redevelopment in line with existing style, scale and character is most favoured. New buildings shall be set back from all boundaries and be set in landscaped spaces. While the effect of traffic on dwellings fronting roads should be minimised through appropriate design measures, all development shall face the street in the traditional manner.

Priority will be given to ensuring that new development, particularly infill and development at higher densities, does not result in undue loss of privacy or amenity for existing residents.

The timber products factory presently located in this area is incompatible with the surrounding residential land and its relocation to a more suitable industrial area is encouraged. More appropriate uses for the site would be those indicated in the Zoning Table and outlined below for a Residential Zone such as multiple dwellings, grouped dwellings and various forms of specialised accommodation. Development shall be in accordance with Residential R60 standards. A mixture of accommodation types together with associated non-residential uses could be appropriate. Development should be generally limited in height to 3 storeys, with a maximum of 2 storeys for development fronting Sunbury Road and Gresham Street where development should respect the form and character of existing residential development.

**USE OF LAND**

As indicated in the Zoning Table in the Scheme Text and outlined below for a Residential Zone:

Use Class	Zone
Consulting Rooms, Day Care Centre	AA
Convenience Store, Service Station	X
Educational Establishment, Place of Worship	AA
Fast Food Outlet, Restaurant	X
General Industry, Transport Depot	X
Hazardous Industry, Noxious Industry	X
Home Occupation	AA
Home Office	P
Hospital, Nursing Home, Residential Building	AA
Hotel, Motel, Tavern	X
Light Industry	X
Liquor Store - Small	X
Liquor Store - Large	X
Lodging House, Serviced Apartment	AA
Massage Rooms	X
Motor vehicles and Marine Sales Premises	X
Open Air Sales and Display	X
Nightclub	X
Office	X
Restricted Premises	X
Service Industry	X
Shop	X
Showroom	X
Single House, Group Dwelling, Aged or Dependent Persons' Dwelling, Multiple Dwelling	P <sub>1</sub>
Warehouse	X

**Footnote:**

1. Multiple Dwellings are only permitted in areas coded R40 and above, and in addition are subject to clause 22 of the Scheme Text - Special Application of the R-Codes.

The symbols used in the cross reference in the Zoning Table and outlined below have the following meanings:

"R" (Permitted Use): means that the use is permitted by the Scheme.

"AA" (Discretionary Use): means that the use is not permitted unless the Council has granted planning approval.

"X" (Prohibited Use): means a use that is not permitted by the Scheme.

Note: If the use of the land for a particular purpose is not specifically mentioned in the Zoning Table and cannot be determined as falling within the interpretation of one of the Use Class categories Council may consider it an unlisted (ie discretionary) use requiring that the advertising procedures referred to in clause 28 of the Scheme Text be followed.

**DEVELOPMENT STANDARDS**

Development shall generally be in accordance with the R-Codes (where applicable) and any relevant planning policy.

In addition the following standards apply:

**Building Height -**  
 The building height on land bounded by Hampton Street, Teague Street, Clydesdale Street, Kitchener Avenue and Howick Street, coded Residential R60, shall be as follows:

**For those lots with a frontage to Clydesdale Street and Kitchener Avenue:**  
 A significant portion of building, to a maximum height of 2 Storeys (7.5m), is to be located between a minimum 6.0m average front setback and a maximum 9.0m average front setback. Any portion of building above 2 storeys (7.5m) is to be setback a minimum of 12.0m from the front boundary, and shall be a maximum height of 4 storeys (15.0m).

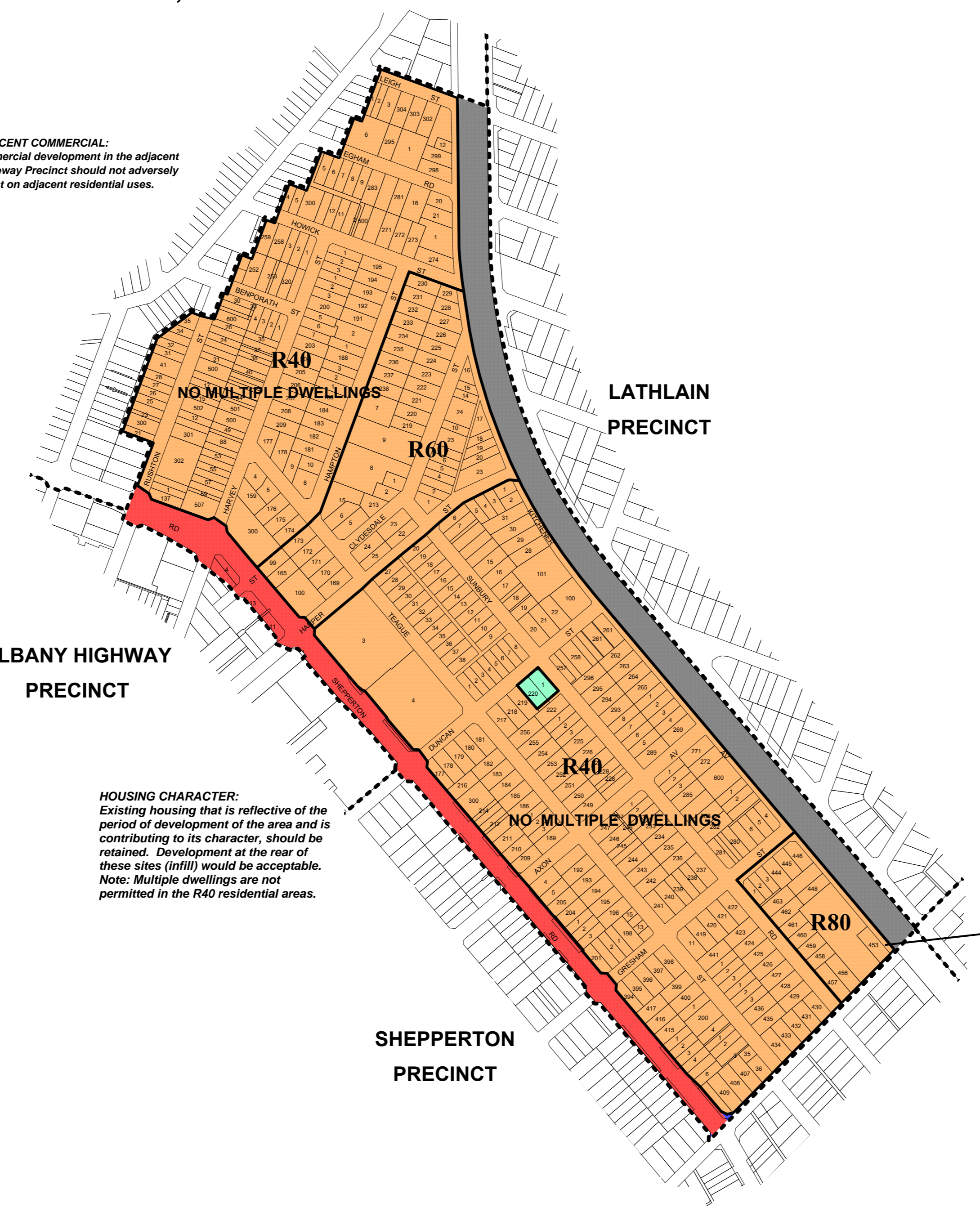
**For those lots with a frontage to Teague Street:**  
 A maximum building height of 4 storeys (15.0m) with an average front setback of 6.0m or more.

**For those lots with a frontage to Hampton Street and Howick Street:**  
 A maximum height of 6 storeys (22.5m) with an average front setback of 6.0m or more.

**For lots with frontages to both Hampton Street and Clydesdale Street:**  
 Both street frontages will be considered primary streets and will need to be developed in accordance with their respective building height and setback requirements.

**Note:** The lot on the corner of Kitchener Avenue and Howick Street is considered to have a Kitchener Avenue frontage for the purposes of building heights and setbacks.

**NORTH**  
**SCALE 1 : 5,000**



**ADJACENT COMMERCIAL:**  
 Commercial development in the adjacent Causeway Precinct should not adversely impact on adjacent residential uses.

**HOUSING CHARACTER:**  
 Existing housing that is reflective of the period of development of the area and is contributing to its character, should be retained. Development at the rear of these sites (infill) would be acceptable. Note: Multiple dwellings are not permitted in the R40 residential areas.

**NON CONFORMING USE:**  
 Should the industrial use of this land be discontinued, the site may be redeveloped for residential use. The site is appropriate for this purpose; set amongst existing residential land, close to district facilities, the city centre and Lathlain Railway Station.